



SHREE GANESH PREM

CO-OP HOUSING SOCIETY LTD.

Regd. No. TNA / (TNA) HSG / TC / 3711 / 90-91

PLOT NO. : 23, SECTOR - 7, AIROLI, NAVI MUMBAI - 400 708.

LETTER OF APPOINTMENT

Ref. :

Date :

To,
Rajesh R.C. Architect
 1-13, Mahavir Centre, Sector-17,
 Vashi, Navi Mumbai – 400 708.

Dear Sir,

Subject : Appointment as Project Management Consultants for Shree Ganesh Prem CHSL.

Reference : Your Offer letter dated 29/12/2020.

Pursuant to the managing committee meeting held on 03/01/2021, the society has decided to appoint your firm **M/s RAJESH R.C. ARCHITECTS** as Project Management Consultants (PMC) for execution of redevelopment project of our society.

Project : Shree Ganesh Prem CHSL, Plot no. 23, Sec-7, Airoli, Navi Mumbai.

Services to be Rendered : Project Management Consultancy as stated in your offer letter dated 29/12/2020.

We request you to sign the duplicate copy of this letter as token of acceptance.

For Shree Ganesh Prem CHSL

R. B. Patel *Patel* *Shree Ganesh Prem CHSL*
 Chairman/ Secretary/Treasurer

We say we accept



NEW EKTA

CO-OP. HOUSING SOCIETY LTD.

Regd. No. : TNA (TNA) HSG / TC/6525 / 93-94

E-mail : newekta6525@gmail.com

PLOT NO. 11, SECTOR - 8, AIROLI, NAVI MUMBAI - 400 708.

Ref. No. 001/04/24

Date : 22 APR 2024

To,

Date-22.04.2024

Rajesh R C Architect,
Office no. 13, 1St Floor,
Mahavir Centre, Juhu Nagar,
Sector 17, Vashi,
Navi Mumbai, Maharashtra 400703

Subject: - Appointment for providing Project Management Consultancy Services
for carrying out re-development of our "New Ekta Co-op HSG Society".
having its address at Plot No. 11, Sector 8, Airoli,
Navi Mumbai — 400 708

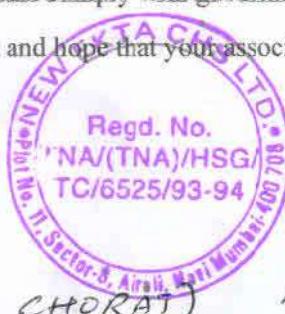
Respected Sir,

With reference to intent letter that you provided on 02/04/24, we have to state that society had taken S.G.M. on 13/04/24 & taken consent for redevelopment and appointment of PMC. We have passed the resolution to go for redevelopment with maximum majority and got consents accordingly. Managing committee is pleased to appoint you as our Project management consultant for redevelopment of our "New Ekta Co-op HSG Soc." having its address at Plot No. 11, Sector 8, Airoli, Navi Mumbai — 400 708. Your consultancy period will be starting from the appointment till occupancy certificate of the new redeveloped structure is given. You will get all the co-operation that you will need from the society committee during paperwork phase as well as during construction phase. The manner in which services which would be given must comply with government/NMMC/CIDCO rules.

We wish and hope that your association with us will be mutually beneficial, pleasant and fulfilling.

Thank You.

Yours faithfully



- 1) (VITJAY H. CHORAT)
(R.D. Chavhan)
- 2) (RAVE D. CHAVAN)
(R.D. Chavhan)
- 3) (PARSHURAM A. SAWAL)

Regd. No. TNA(TNA) HSG / TC/6525/93-94
Plot No. 11, Sector 8, Airoli, Navi Mumbai - 400 708

Chairman Secretary Treasurer

A) (Bhagwan Sarode)
(Bhagwan Sarode)

B) Arun L. Bobhate
(J. D. Sarode)

C) VIKAS KATKAR
(R. Chavhan)

Rajasthan Co-op. Housing Society Limited

(Regn. No. BOM/HSG/(TC)/59/90-91 OF 1991 dt. 15-3-1991)
PLOT NO. 28, SECTOR 6, AIROLI, NAVI MUMBAI - 400 708.

Ref. No.

Date : 23/08/2024

To
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec-17, Vashi,
Navi Mumbai - 400703.

Subject: Appointment for providing Project Management Consultancy Services (PMC Services) for carrying out redevelopment of our Rajasthan Co-op Hsg. Society situated at Plot No. 28, Sector-6, Airoli, Navi Mumbai - 400708.

Dear Mr. Rajesh Chanda,

We refer to the letter of intent dated August 6, 2024. We are pleased to inform you that the Rajasthan Co-op Housing Society held a Special General Meeting (SGM) on August 11, 2024, where we obtained consent for the redevelopment of our society and the appointment of a Project Management Consultant (PMC). The resolution to proceed with the redevelopment was passed with a significant majority.

The Managing Committee is pleased to appoint you as our Project Management Consultant for the redevelopment of Rajasthan Co-op Housing Society, located at Plot No. 28, Sector-6, Airoli, Navi Mumbai-400708.

Your scope of work will encompass all aspects of the redevelopment project, from inception to the handover of flats, in accordance with RERA guidelines. This includes obtaining the Occupation Certificate (OC) and managing the defect liability period of one year.

The professional fees for your services to be paid by developer, will be determined in a joint meeting between the shortlisted developer, the society, and yourself.

Society reserves the rights to terminate your appointment in case any unsatisfactory work.

We kindly request you to acknowledge receipt of this letter and commence work at the earliest.

Thanking you,

RAJASTHAN CO-OP. HOUSING SOCIETY LTD.
Chairman  Secretary  Treasurer 



Yashashree Co-op. Hsg. Society Ltd.

(Regd. No. TNA (TNA) / HSG / (TC) / 8039, 1996)

PLOT NO. 6, SECTOR - 16, AIROLI, NAVI MUMBAI - 400 708

Ref.:

Date :

To,

02/09/2024

Mr Rajesh Chanda,

Prop. Of M/s. Rajesh RC Architect,

1/13, Mahavir Centre,

Sector – 17, Vashi,

Navi Mumbai.

Sub : Appointment as PMC

Respected Sir,

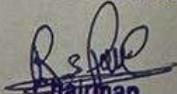
We are in receipt of your Email dtd 27th August 2024 for Expression of Interest (EOI) to act as a Project Management Consultant (PMC) for the Above named society.

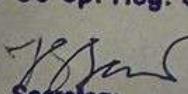
The Managing Committee has decided to appoint your firm as PMC for the redevelopment of our Society.

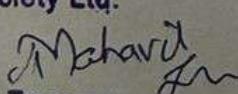
Thanking You.

Regards

For Yashashree Co-op. Hsg. Society Ltd.


Chairman


Secretary


Treasurer

EDEN PARK CO-OP. HSG. SOCIETY LTD.

(Reg. No. NBOM/CIDCO/HSG (O.H.)/437/JTR/1996-1997/Dt. 10/06/1996)

PLOT NO. 10, SECTOR - 8, AIROLI, NAVI MUMBAI - 400708.

Ref. No. :

Date: 17 /11 /2024
Date : / /

To,
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec – 17, Vashi,
Navi Mumbai – 400703.

Sub. : Appointment for providing Project Management Consultancy (PMC Services) for carrying out redevelopment of our Eden Park situated at Plot No. 10, Sector 8, Airoli, Navi Mumbai – 400708.

Dear Mr. Rajesh Chanda,

We refer to the letter of intent dated 5th September 2024 & 10th October 2024 Eden Park held a Special General Meeting (SGM) on 17/11/2024, where we obtained consent for the redevelopment of our Society and the appointment of a Project Management Consultant (PMC). The resolution to proceed with the redevelopment was passed with a significant majority.

The Managing Committee is pleased to appoint you as our Project Management Consultant for the redevelopment of Eden Park chs located at Plot No.10, Sector - 8, Airoli, Navi Mumbai – 400708.

Your scope of work will encompass all aspects of the redevelopment project, from inception to the handover of flats.

We kindly request you to acknowledge receipt of this letter and commence work at the earliest.

Thanking you,

Yours Truly,



For EDEN PARK CHS. LTD.

A. Bhandarkar
Chairman *S. Bhandarkar* *A. Bhandarkar*
Secretary Treasurer

SWAPNEK CO-OPERATIVE HOUSING SOCIETY LIMITED

(Reg. No. TNA (TNA) HSG. (T.C.) 437 - 1985 - 86)
Plot - 06, Sector-14, Vashi, Navi Mumbai 400 703

Date: 16/01/2025

To,
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec – 17, Vashi,
Navi Mumbai – 400703

Sub: Appointment for providing Project Management Consultancy [PMC Services] for carrying out redevelopment of our Residential Premises SwapnekSociety, Plot No. 06, Sector 14, Vashi, Navi Mumbai – 400703.

Dear Mr. Rajesh Chanda,

We reference to your Expression of Interest letter, SwapnekSociety held a Special Meeting of Redevelopment Committee Members on 15 January 2024, where we obtained consent for the appointment of a Project Management Consultant [PMC]. The resolution to proceed with the appointment was passed with a significant majority.

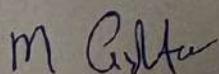
The Redevelopment Committee is pleased to appoint **M/s Rajesh RC Architect** a proprietor firm of **Mr. Rajesh Chanda** as our Project Management Consultant for the redevelopment of **SwapnekSociety** located at **Plot No.06, Sector - 14, Vashi, Navi Mumbai – 400703.**

Your scope of work will encompass all aspects of the redevelopment, from inception to appointment of the best builder to the handover of flats.

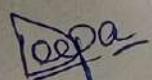
We kindly request you to acknowledge receipt of this letter and commence work at the earliest.

Thanking you,

Yours Sincerely,



Mrs. Manorama Gupta
Secretary
Swapnek Society, Navi Mumbai



Ms. Deepa Patial
Chairman
Swapnek Society, Navi Mumbai

RADHESHYAM CO-OP. HOUSING SOCIETY LTD.

(Reg. No. TAN (TNA) / HSG / TC 489 / 1985 – 86 Date 9-4-1986)

Plot No 5, Sector-14, Vashi, Navi Mumbai – 400 703.

Ref. No.: _____

Date : _____

Date : 21/01/2025

To,
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec – 17, Vashi,
Navi Mumbai – 400703.

Sub. : Appointment for providing Project Management Consultancy (PMC Services) for carrying out redevelopment/ reconstruction of our Residential Premises Radheshyam CHS, Plot No. 05, Sector 14, Vashi, Navi Mumbai – 400703.

Dear Mr. Rajesh Chanda,

We reference to your Expression of Interest letter dated 9th December 2024 , Radheshyam CHS held a Special General Meeting (SGM) on 12th December 2024, where we obtained consent for the redevelopment/ reconstruction of our Society and the appointment of a Project Management Consultant (PMC). The resolution to proceed with the redevelopment/ reconstruction was passed with a significant majority.

The Managing Committee is pleased to appoint M/s Rajesh RC Architect a proprietor firm of **Mr. Rajesh Chanda** as our Project Management Consultant for the redevelopment/ reconstruction of Radheshyam CHS located at **Plot No.05, Sector - 14, Vashi, Navi Mumbai – 400703.**

Your scope of work will encompass all aspects of the redevelopment/ reconstruction, from inception to the handover of flats.

We kindly request you to acknowledge receipt of this letter and commence work at your earliest.

Thanking you,

Yours Sincerely,

The Chairman / Secretary
RADHESHYAM CHS



- ① SURAJ KADAM
- ② VINAYAK PURANIK
- ③ V. RAJAN NAIR
- ④ S. B. PAGGARE

Mauli Co-op. Housing Society Ltd.

Registration No. TNA / HSG / 1078 1981
Plot No. 29 - C, Sector - 4, Vashi, Navi Mumbai - 400 703.

Ref. : 711

Date : 26/05/2025

To,
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center Sec-17,
Vashi, Navi Mumbai- 400703.

Subject: Appointment for providing Project Management Consultancy (PMC Services) for carrying out redevelopment of our Mauli Co-Op Housing Society Limited at Plot No.29C, Sector - 4, Vashi, Navi Mumbai-400703.

Dear Mr. Rajesh Chanda,

We refer to the letter of intent dated March 3rd, 2025. We are pleased to inform you that the Mauli Co-Op Housing Society Limited held a Special General Meeting (SGM) on May 11th, 2025, where we obtained consent for the redevelopment of our society and the appointment of a Project Management Consultant (PMC). The resolution to proceed with the redevelopment was passed with a significant majority.

The Managing Committee Meeting No. 50 dated 22.05.2025 In the seeking discussion with you, you are delighted to be appointed as our project management consultant for the redevelopment of the Mauli Co-Op Housing Society Limited at Plot No.29C, Sector - 4, Vashi, Navi Mumbai-400703.

The Managing Committee is pleased to appoint you as our Project Management Consultant for the redevelopment of Your scope of work will encompass all aspects of the redevelopment project, from inception to the handover of flats, in accordance with RERA guidelines. This includes obtaining the Occupation Certificate (OC) and managing the defect liability period of one year.

The professional fees for your services to be paid by developer, will be determined in a joint meeting between the shortlisted developer, the society, and yourself.

Society reserves the rights to terminate your appointment in case any unsatisfactory work. We kindly request you to acknowledge receipt of this letter and commence work at the earliest.

Mauli Co-op. Housing Society Ltd.

Registration No. TNA / HSG / 1078 1981

Plot No. 29 - C, Sector - 4, Vashi, Navi Mumbai - 400 703.

..2..

Ref.:

Date :

SCOPE OF WORK

The Steps involved in the process of Redevelopment of the society include the following:

- Feasibility of the Project.
- Formation of Co-Op Housing Society.
- Tendering and Bidding for Developers.
- Structural Audit.
- Design Management.
- Society Approval.
- Government Approval.
- Shifting and Reinstating of Tenants.
- Commencement.
- Quality Control and Supervision.
- Handing Over to the Society.

Our Scope of Work as a Project Management Consultancy for the project shall include the following:

Pre Construction Stage:

- Analysis of the existing Carpet areas and requirements of the tenants.
- Preparation of Detailed Feasibility Report of the project.
- Development of design proposal considering the requirements of the society.
- Inviting Tenders from reputed Developers and Builders.
- Finalization of Developer based on the tenders submitted.
- Approving the plans prepared by the Developer considering the requirements of the society.
- Assistance in finalization of the various Consultants (Structural Consultant, MEP Consultant, etc.)
- Ascertaining the requirements mentioned in the Development permission from the approval authority.

Construction Stage:

- Reviewing the Good for Construction Drawings.
- Coordinating with the various consultants involved in the project.
- Site Supervision and Progress Monitoring.
- Attending periodic meetings with the developer and the society.
- Quality Control and Supervision(Testing)
- Periodical Safety Audits.
- Reviewing Site Logistics.

Post Construction Stage:

- Reviewing the As Built' Drawings received from the Consultants.
- Coordination for issuing the completion certificates.
- Hand Over to the Society after receiving the Occupancy Certificate from the Navi Mumbai Municipal Corporation.

Cont. ...3

Mauli Co-op. Housing Society Ltd.

Registration No. TNA / HSG / 1078 1981
Plot No. 29 - C, Sector - 4, Vashi, Navi Mumbai - 400 703.

Ref.:

PROFESSIONAL FEES

Date :

Your professional fees for the above mentioned Project Management Consultancy services mentioned above shall be 3.00% of the total Construction Cost of the project or Rs. 80/ sq.ft of construction area, whichever is more, (negotiable) plus any applicable Taxes as per the Government Norms.

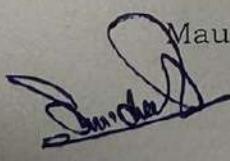
Payment Schedule

Sr No.	Stage of Work	% Fee
1	On Appointment as Project Management Consultancy	Rs. 31000
2	On Finalization of the Developer and Builder 10%	10%
3	On Detailed Review and Finalisation of Plans as per the requirement of the Society	10%
4	On Approval of Drawings from the Approval Authority	10%
5	On intial Site Visits- Centreline, Foundation level	10%
6	On periodical Site Supervisions during construction for Slab Checking, Quality Control, Site Logistics, etc. a) 30% on completion of Civil and Architectural Works (Monthly equal installments) b) 10% on completion of finishes/interior works/facade c) 10% on completion of MEP services	50%
7	On reviewing the 'As Built' Drawing prepared by the Consultant	5%
8	On Obtaining Occupancy Certificate	5%
	Total	100%

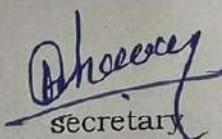
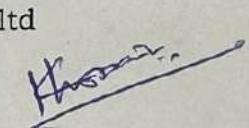
Thanking You,

Yours faithfully,

Mauli co- operative housing society ltd



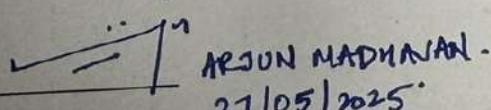
Chairman


secretary
treasurer

ACCEPTED

Name of The firm: **Rajesh RC Architect**

Signature of Architect /Project Management Consultant:


ARJUN NADMANE
21/05/2025

Seal of the Firm:

Date 26th May 2025

Place: Vashi, Navi Mumbai.

Cheque Amt. 31000/-, Cheque No. 270914 dated 26th May 2025



MATRU ASHISH CO-OP. HSG. SOC. LTD.

Reg. No. TNA / (TNA) / HSG. / TC / 4614 / 91-92

Plot No. 46, Sector - 29, Vashi, New Bombay.

Date : 05/09/2025

To,
Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec – 17, Vashi,
Navi Mumbai – 400703.

Date : _____

Sub. : Appointment for providing Project Management Consultancy (PMC Services) for carrying out self-redevelopment/ self-reconstruction of our Residential Premises Matru Ashish CHS, Plot No. 46, Sector 29, Vashi, Navi Mumbai – 400703.

Dear Mr. Rajesh Chanda,

We reference to your Expression of Interest letter dated 18th August 2025, Matru Ashish CHS held a Special General Meeting (SGM) on **10th August 2025**, where we obtained consent for the self-redevelopment/ self-reconstruction of our Society and the appointment of a Project Management Consultant (PMC). The resolution to proceed with the self-redevelopment/ self-reconstruction was passed with a significant majority.

The Managing Committee is pleased to appoint **M/s Rajesh RC Architect** a proprietor firm of **Mr. Rajesh Chanda** as our Project Management Consultant for the self-redevelopment/ self-reconstruction of **Matru Ashish CHS** located at **Plot No.46, Sector - 29, Vashi, Navi Mumbai – 400703.**

Your scope of work will encompass all aspects of the self-redevelopment/ self-reconstruction, from inception to the handover of flats.

We kindly request you to acknowledge receipt of this letter and commence work at your earliest.

Thanking you,

Yours Sincerely,

For Matru Ashish CHS.

For MATRU-ASHISH CHS LTD

Ansuline
Ansuline
Hon. Chairman Hon. Secretary Hon. Treasurer
Chairman / Secretary



अष्टभुजा सहकारी गृहनिर्माण संस्था मर्यादित
ASHTABHUJA CO-OP. HOUSING SOCIETY LTD.

REG. NO. N.B.O.M./CIDCO/HSG/ (T.C) 9982/JTR/Year 2023 - 2024

B-3 Type, Bldg. No. 13-20, Plot No. 1B, Sector-15, Vashi, Navi Mumbai - 400703.

Ref.No.: _____

Date : _____

Date: 12/11/2025

To,

Rajesh RC Architect,
Office No: 13, 1st Floor,
Mahavir Center
Sec – 17, Vashi,
Navi Mumbai – 400703.

**Sub: Appointment for providing Project Management Consultancy (PMC Services) for
redevelopment of Ashtabhuja CHS on plot no -49 Sector-15, vashi, Navi Mumbai,**

Dear Mr. Rajesh Chanda,

We are pleased to announce that our society in its Special General Meeting held on 9th November 2025 has resolved to appoint you as Project Management Consultancy for the ongoing Redevelopment Project our society, Ashtabhuja CHS.

Your appointment is hereby confirmed, subject to the finalization and mutual agreement on the Scope of work, Terms of engagement and other relevant conditions, which will be discussed and decided in due course.

We kindly request you to acknowledge receipt of this letter and confirm your acceptance of the appointment. We look forward to your valuable support and professional guidance in the successful execution of our Redevelopment project.

Thanking you,

Yours Sincerely,

Chairman / Secretary,
Ashtabhuja CHS

For ASHTABHUJA CO-OP. HSG. SOC. LTD.

Ashtabhuja CHS
Chairman Secretary Treasurer



ASHTABHUJA CO-OP. HSG. SOC.
Reg. No. N.B.O.M./CIDCO/HSG/(T.C)
9982/JTR/Year 2023-2024
B-3 Type, Bldg. No. 13-20, Plot No. 1B,
Sector-15, Vashi, Navi Mumbai-400703.